



Key Colony Beach City Hall Hardening , Renovation & Addition

Construction Documents 90% Submittal
07/17/2025

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James Tirado
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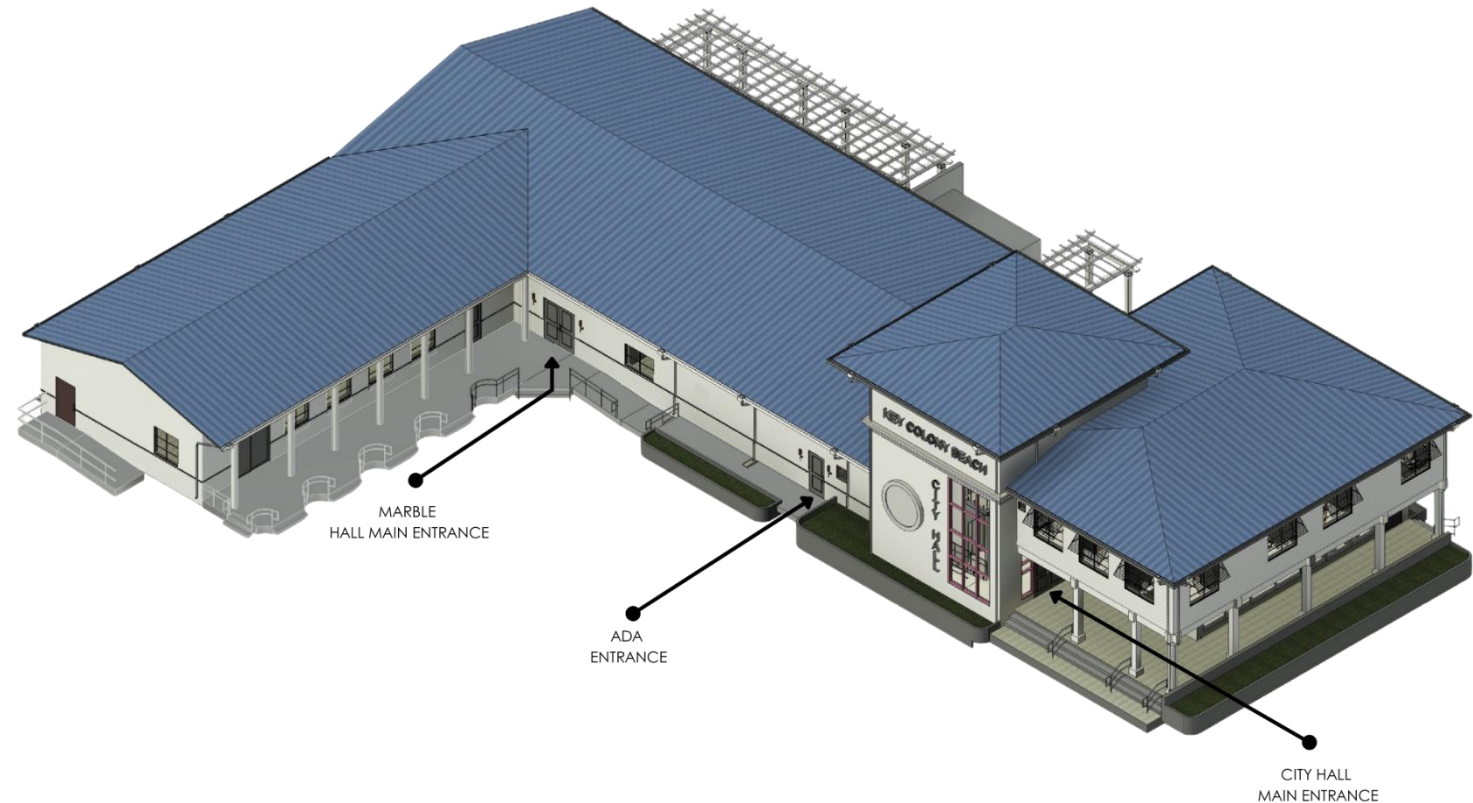
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MEETING AGENDA:

- PROJECT UPDATE
- 90% CONSTRUCTION DOCUMENTS
- CIVIL DRAWINGS
- STRUCTURAL DRAWINGS
- MECHANICAL DRAWINGS
- ELECTRICAL DRAWINGS
- PLUMBING DRAWINGS
- LANDSCAPE DRAWINGS
- SCHEDULE UPDATE
- PROJECT STATUS





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PROJECT UPDATE:

- 03/11/2025: COMMISSION MEETING- APPROVAL OF FULL DESIGN CONTRACT
- 04/01/2025: COMMISSION MEETING- SCHEMATIC DESIGN APPROVAL WITH COMMENTS
- 05/05/2025: DESIGN DEVELOPMENT APPROVAL
- 05/05/2025: EXTERIOR/ INTERIOR MATERIAL BOARDS APPROVAL
- 07/07/2025: 90% CONSTRUCTION DOCUMENTS SUBMITTAL-CITY STAFF
- 07/17/2025: COMMISSION MEETING- 90% CONSTRUCTION DOCUMENTS



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CONSTRUCTION DOCUMENTS- SITE PLAN



LEGEND

-  HARDENING- Existing Finish Floor Elevation
-  RENOVATION- Existing Finish Floor Elevation
-  ADDITION- 1ST Floor Elevation +2'-4"
2ND Floor Elevation +14'-4"
-  SITE IMPROVEMENTS
-  PARKING LOT



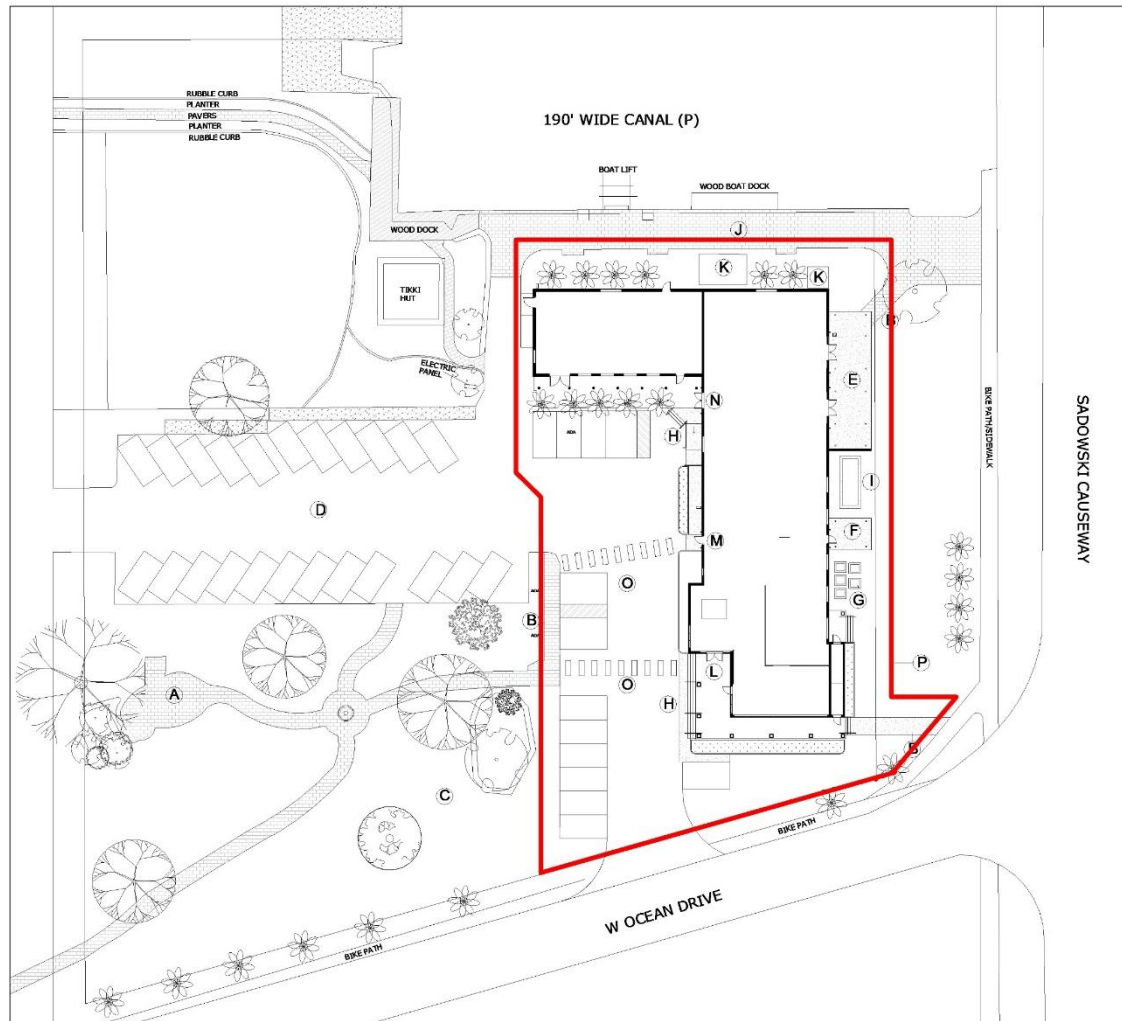
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SITE PLAN



SITE PLAN LEGEND	
(A)	EXISTING PAVERS TO REMAIN
(B)	NEW WALKWAY (MATCH NEAREST EXISTING)
(C)	EXISTING PARK
(D)	EXISTING PAVEMENT PARKING LOT
(E)	MARBLE HALL PATIO
(F)	ADMIN PATIO
(G)	CONDENSER UNIT
(H)	NEW CONCRETE
(I)	NEW GENERATOR YARD (PAD WITH CMU)
(J)	EXISTING PAVER DOCK
(K)	EXISTING CONCRETE SLAB
(L)	MAIN ENTRANCE
(M)	ADA ENTRANCE
(N)	MARBLE HALL ENTRANCE
(O)	CROSSWALK
(P)	CONTRACTOR'S SITE WORK LIMITS CONTRACTOR SHALL PROVIDE CONTINUOUS 6'-0" HIGH CHAIN LINK CONSTRUCTION FENCE WITH VERTICAL & PEDESTRIAN GATE.
CONCRETE:	
	PAVER
	LANDSCAPE



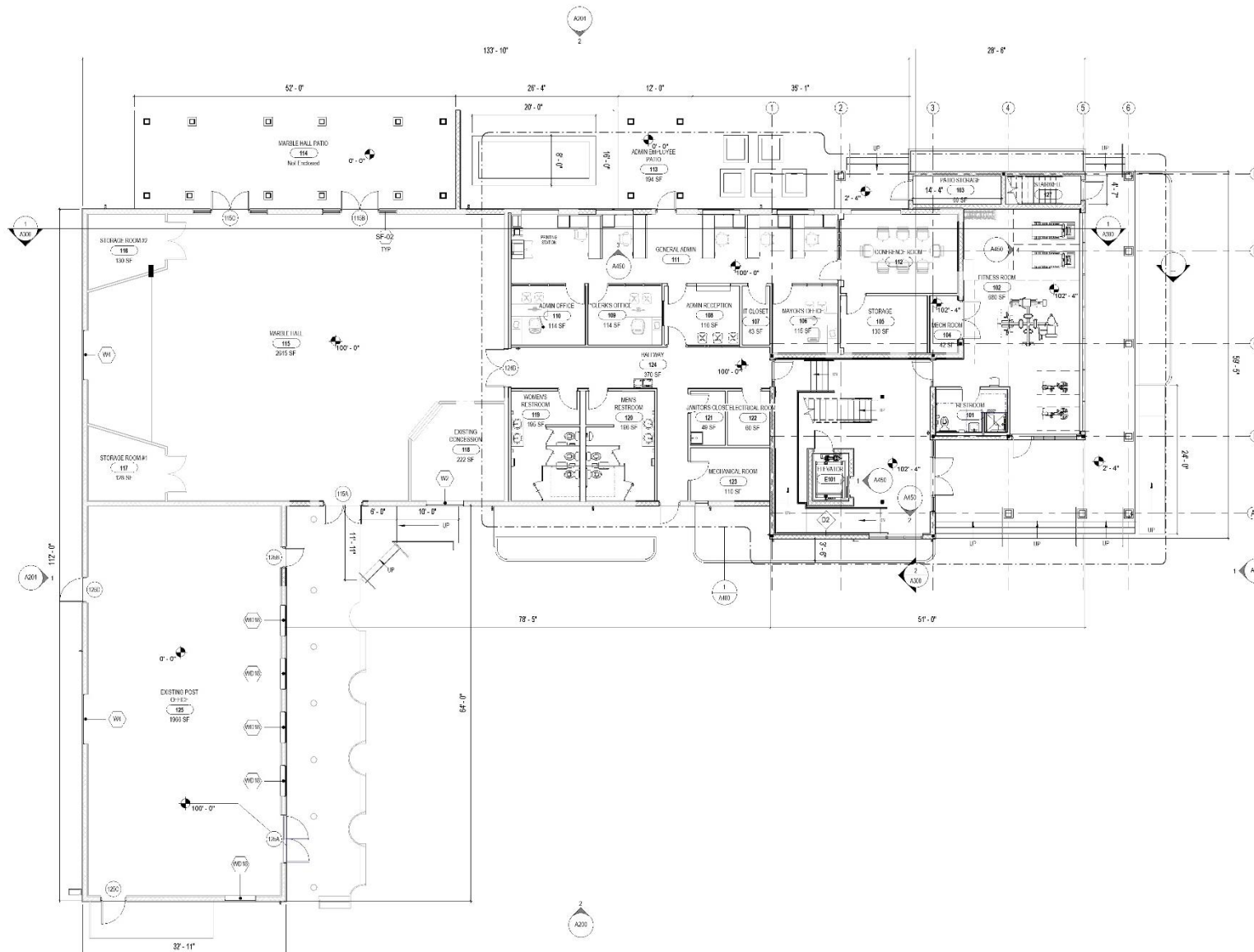
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GROUND FLOOR PLAN



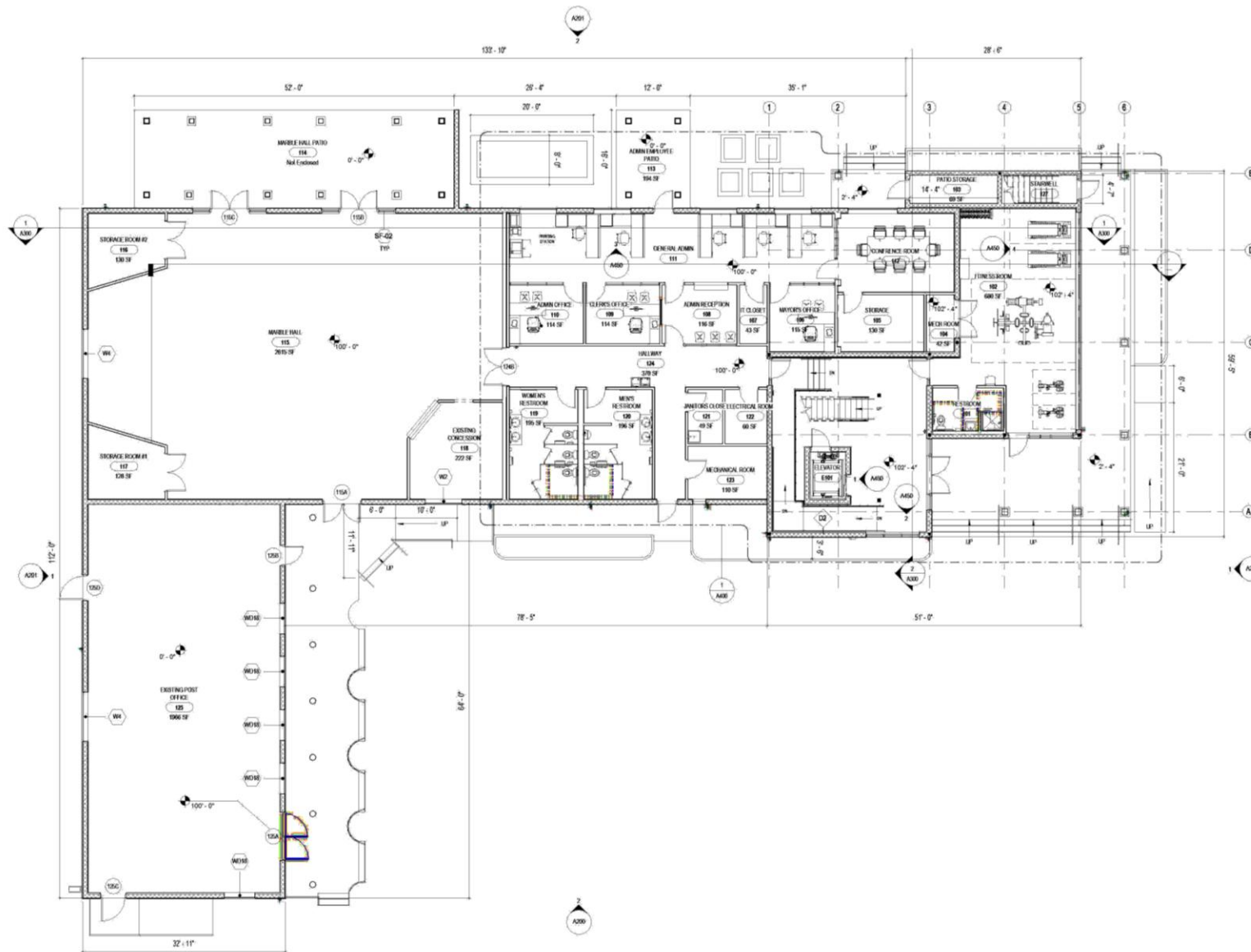


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GROUND FLOOR PLAN WITH RAMP





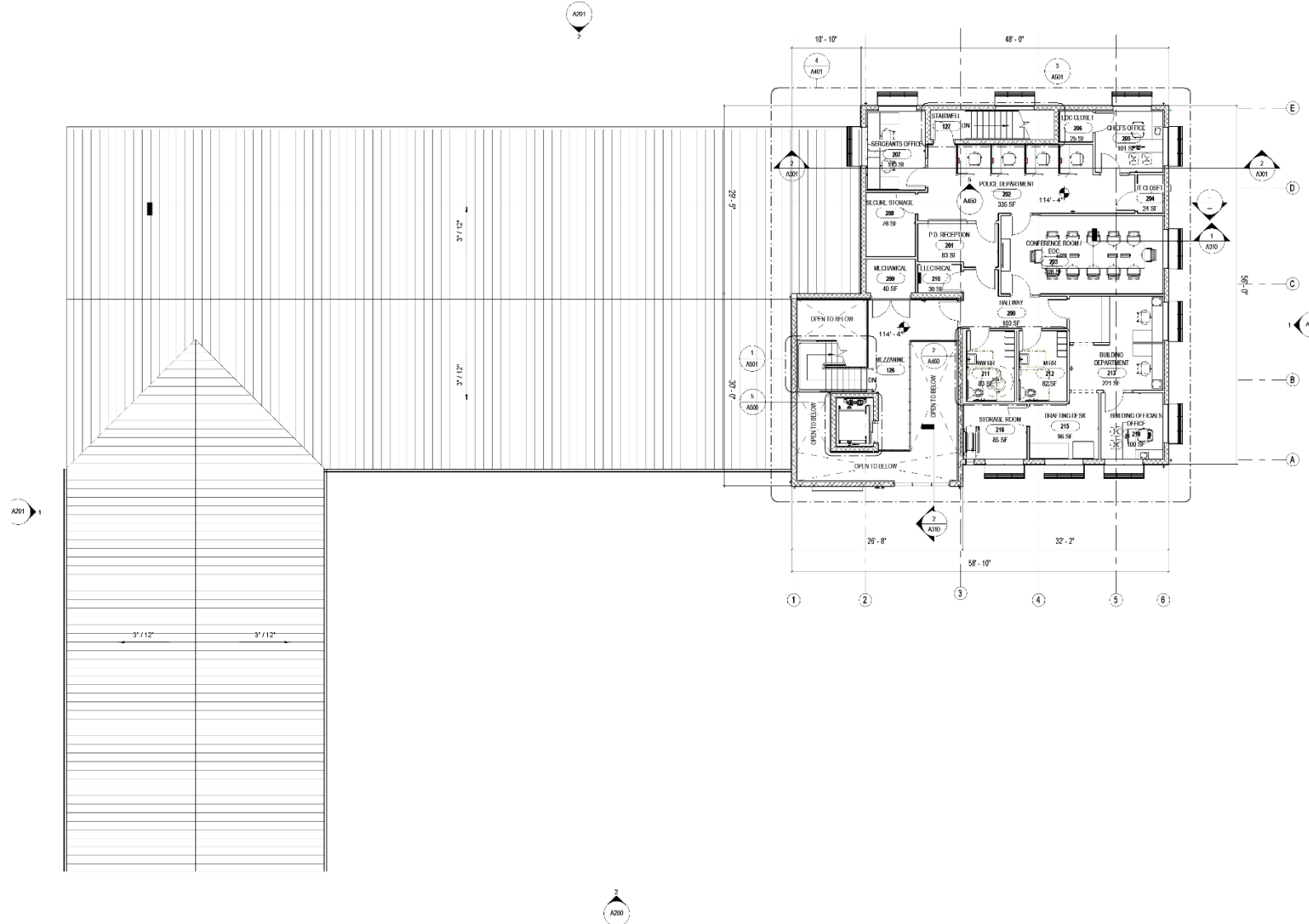
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SECOND FLOOR PLAN



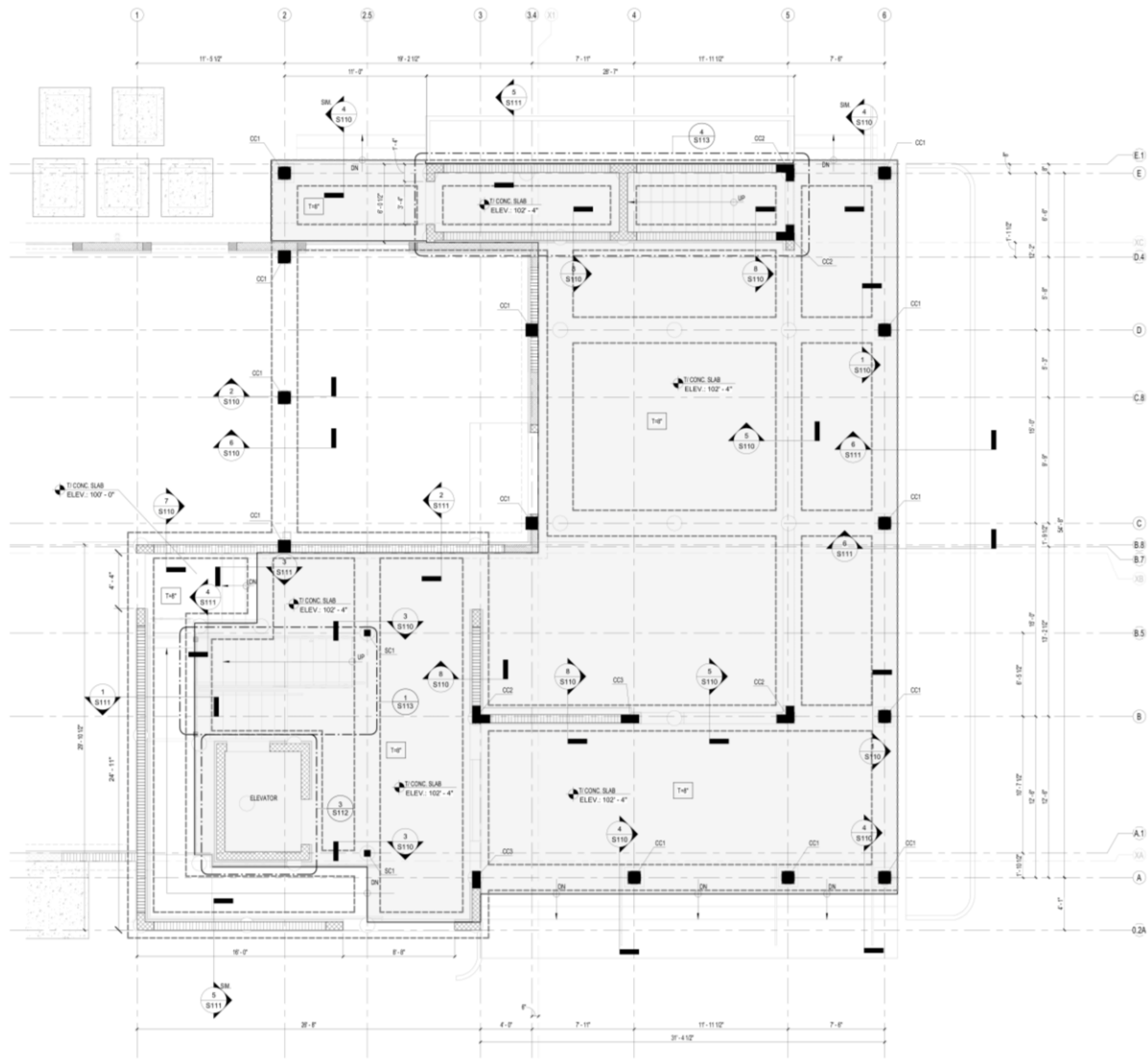




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STRUCTURAL- SLAB REINFORCEMENT



STEEL COLUMN SCHEDULE					
MK	SHAPE		BASE PLATE		
SC1	HSS10X12		BP1		
CONCRETE COLUMN SCHEDULE					
MK	WIDTH	LENGHT	VERTICAL	TIES	REMARKS
CC1	12"	12"	(+) #6	#3 @ 8"	SEE DETAIL 1/5/110
CC2	-	-	(+) #6	#3 @ 8"	SEE DETAIL 2/5/110
CC3	-	-	(+) #6	#3 @ 8"	SEE DETAIL 2/5/110
MASONRY WALL REINFORCEMENT SCHEDULE					
MARK	LEGEND	THICKNESS	REINFORCING		
MW-1		8" CMU	#4 @ 12" O.C. VERT.		
MW-2		8" CMU	#4 VERTICAL @ EACH CELL GROUPED SOLID.		
NOTES					
1. WALL SEGMENTS SHALL BE REINFORCED WITH 5-GAL. STANDARD GALVANIZED LATERAL REINFORCING @ 18" O.C. HORIZONTAL. EXTENDING REINFORCING IF INTO POURED ELEMENTS AND AROUND ENCASED STEEL. PRODUCT BY HARBOND OR APPROVED EQUAL.					
2. ADJACENT TO ANY EXTERIOR WALL OPENING, PROVIDE 4" X 16" FULLY GROUTED CMU PIER W/ (1) #4 EACH CELL FULL HEIGHT.					
3. ALL MASONRY REINFORCED CELLS SHALL BE FILLED WITH 3,000 PSI GROUT MIX.					

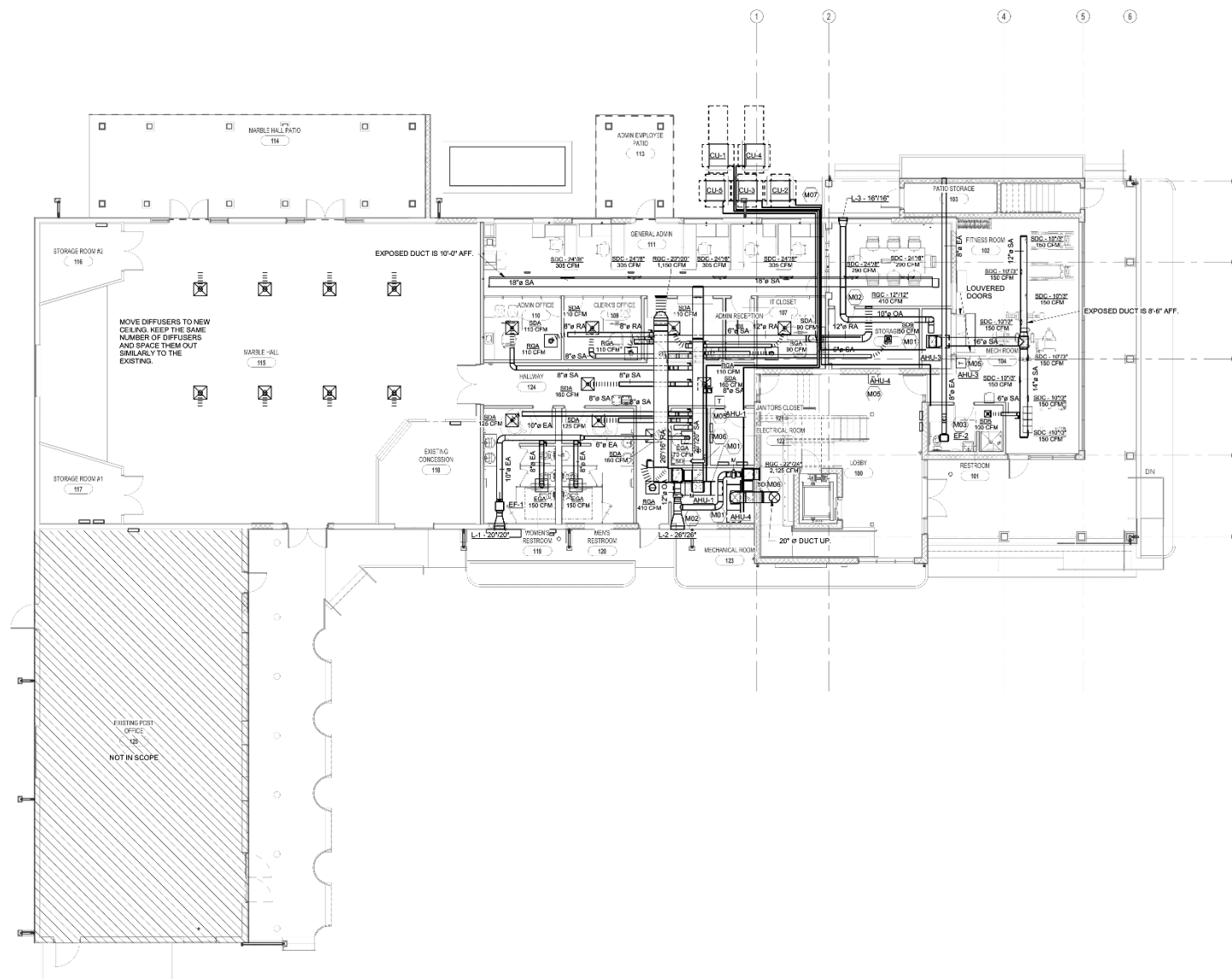


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MECHANICAL- FIRST FLOOR PLAN



KEYNOTE LEGEND

M01	INSTALL AIR HANDLING UNIT IN LOCATION SHOWN. COORDINATE EXACT LOCATION WITH FIELD CONDITIONS AND MAINTAIN ALL REQUIRED CLEARANCES FOR ACCESS AND MAINTENANCE OF UNIT. REFRIGERANT PIPING TO BE ROUTED TO NEW PAD MOUNTED OUTDOOR UNIT WITH RACK. ROUTE AND SIZE REFRIGERANT LINES PER MANUFACTURER'S RECOMMENDATIONS. ROUTE CONDENSATE DRAIN LINE TO NEAREST EXTERIOR GREEN SPACE.
M02	ROUTE OUTSIDE AIR DUCTWORK TO OUTSIDE AIR LOUVER. PROVIDE MOTORIZED DAMPER FOR OUTSIDE AIR CONNECTION.
M03	INSTALL CABINET EXHAUST FAN IN RESTROOM. CABINET FAN TO BE CONTROLLED BY LIGHT SWITCH. ROUTE 8" DUCTWORK ABOVE CEILING TO BUILDING EXTERIOR AND PROVIDE METAL WALL CAP WITH BRIDGECOR AND BACK DRAFT DAMPER AT TERMINATION.
M05	PROVIDE THERMOSTAT MOUNTED ON WALL AT 4'-0".
M06	INSTALL DUCT MOUNTED SMOKE DETECTOR IN SUPPLY AIR STREAM PER SMOKE DETECTOR MANUFACTURER'S RECOMMENDATIONS. SMOKE DETECTOR TO BE WIRED FOR UNIT SHUTDOWN UPON DETECTION OF SMOKE.
M07	PROVIDE ALUMINUM COVERCHASE. COLOR BY ARCHITECT.



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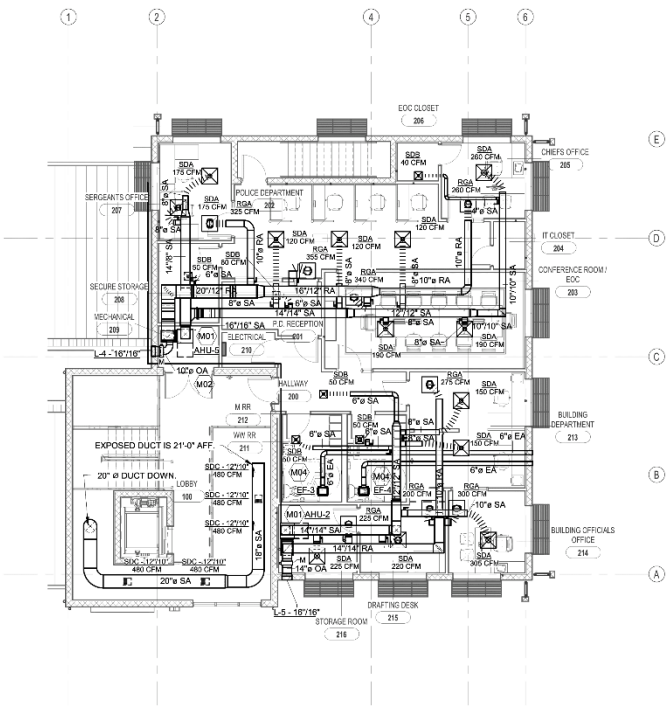
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MECHANICAL-SECOND FLOOR PLAN

KEYNOTE LEGEND

M01	INSTALL AIR HANDLING UNIT IN LOCATION SHOWN. COORDINATE EXACT LOCATION WITH FIELD CONDITIONS AND MAINTAIN ALL REQUIRED CLEARANCES FOR ACCESS AND MAINTENANCE OF UNIT. REFRIGERANT PIPING TO BE ROUTED TO NEW PAD MOUNTED OUTDOOR UNIT WITH RACK. ROUTE AND SIZE REFRIGERANT LINES PER MANUFACTURER'S RECOMMENDATIONS. ROUTE CONDENSATE DRAIN LINE TO NEAREST EXTERIOR GREEN SPACE.
M02	ROUTE OUTSIDE AIR DUCTWORK TO OUTSIDE AIR LOUVER. PROVIDE MOTORIZED DAMPER FOR OUTSIDE AIR CONNECTION.
M04	INSTALL CABINET EXHAUST FAN IN RESTROOM. CABINET FAN TO BE CONTROLLED BY LIGHT SWITCH. ROUTE 6" DUCTWORK ABOVE CEILING TO BUILDING EXTERIOR AND PROVIDE METAL WALL CAP WITH BIRDSCREEN AND BACK DRAFT DAMPER AT TERMINATION.





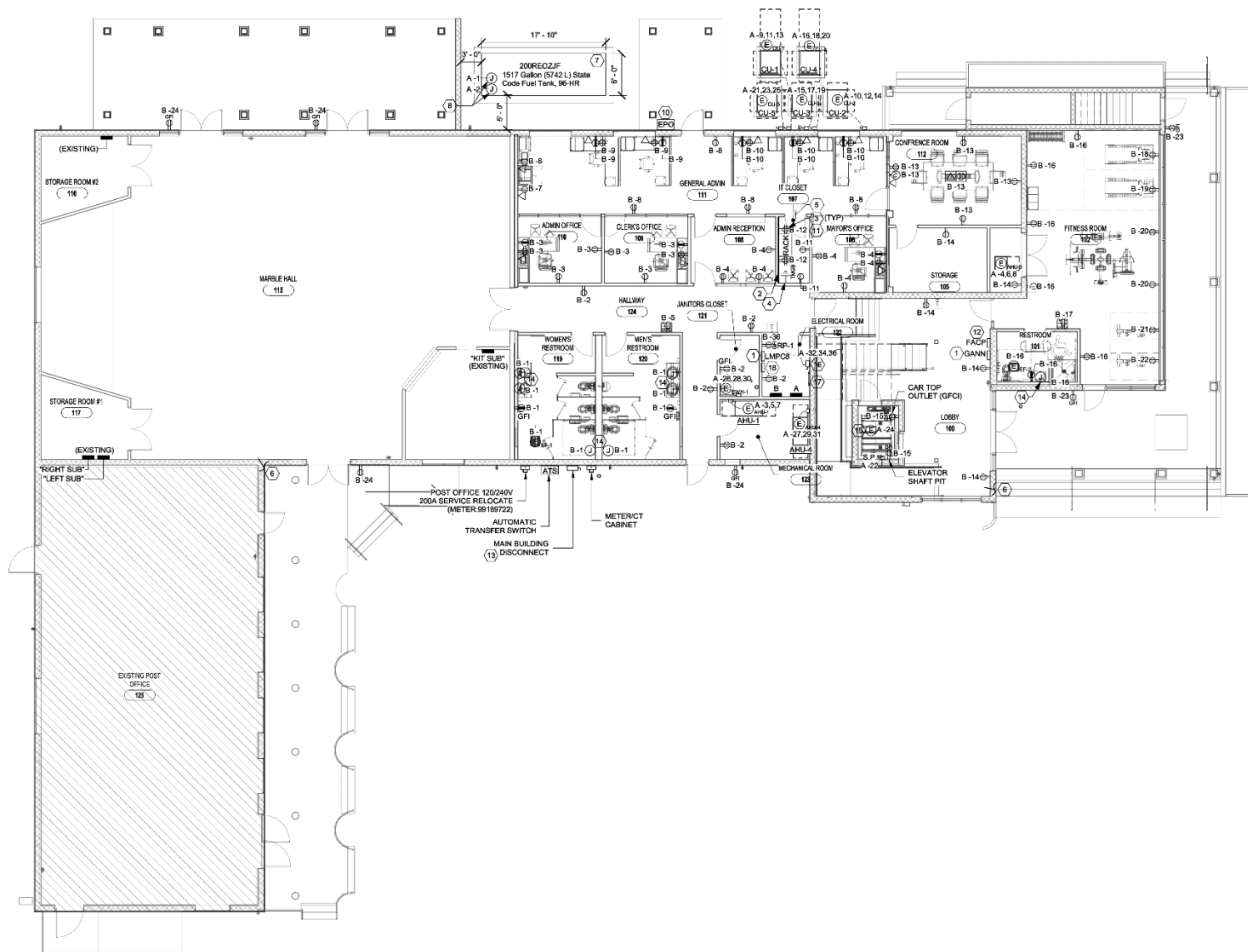
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ELECTRICAL-GROUND FLOOR POWER PLAN



GENERAL SHEET NOTES

- 4. EXACT LOCATION OF MECHANICAL, PLUMBING, KITCHEN, FURNITURE, SYSTEMS, OWNER FURNISHED EQUIPMENT, ETC. THAT REQUIRE ELECTRICAL CONNECTIONS SHALL BE SHOWN ON THEIR RESPECTIVE SCHEDULES. ALL ELECTRICAL PANELS SHALL BE LOCATED WITH RESPECTIVE CONTRACTORS AND/OR VENDORS PRIOR TO ANY RENEWAL OF THE CONTRACT.
- 5. ALL BRANCH CIRCUITS SHALL BE RUN WITH AN INDIVIDUAL, NEUTRAL, WHITE, BRANCH CIRCUITS SHALL NOT SHARE NEUTRAL WIRING.
- 6. ALL CONDUCTORS SHALL BE IDENTIFIED BY PANELBOARD AND CIRCUIT NUMBERING. ALL CABLES SHALL BE IDENTIFIED BY PANELBOARD, ENCLOSURES, SPLICE OR TERMINATION POINTS, ETC.
- 7. WIRE SIZE SHALL NOT BE LESS THAN CORRESPONDING CIRCUIT BREAKER RATING AS REQUIRED BY CODE.
- 8. CIRCUIT NUMBERS AT DEVICES CORRESPOND TO PANELBOARD BREAKERS (SEE RESPECTIVE SCHEDULES). PANELBOARD CIRCUITS SHALL BE SIZED ACCORDING TO THE CIRCUIT BREAKER RATING, UNLESS INDICATED OTHERWISE ON THE ELECTRICAL EQUIPMENT SCHEDULE.
- 9. INSTALL A DISCONNECT WITHIN SIGHT OF EACH EXHAUST FAN, PER NEC 430.10(B). REGARDLESS OF VOLTAGE OR POWER RATING, THIS DISCONNECT SHALL BE READILY ACCESSIBLE AND LOCATED NO MORE THAN 50 FEET FROM THE FAN.
- 10. ALL GROUNDING AND BONDING SHALL BE DONE IN COMPLIANCE WITH NEC ARTICLE 250. ENSURE THAT ALL ELECTRICAL SYSTEMS ARE PROPERLY GROUNDING SYSTEM, INCLUDING METALLIC CONDUITS AND ENCLOSURES.
- 11. ALL OUTLETS INSTALLED IN WET OR DAMP LOCATIONS SHALL BE PROVIDED WITH WEATHERPROOF COVER THAT REMAIN WEATHERPROOF WITH OR WITHOUT A GROUND-Fault, PER NEC 404.5.
- 12. ENSURE THAT ALL CIRCUITS SUPPLYING BATHROOM RECEPTACLES ARE PROTECTED BY A GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PER NEC 210.8.

 SHEET KEYNOTES

1. PROVIDE GENERATOR MOUNT ANNUNCIATOR CIRCUIT IN #1 UG.
2. PROVIDE ULS Z285MT LSA BACKSPOON PRODUCT LINE IN THE WALLS WITH E+X SECTIONS AND FINISH WITH BOTTOM MT 12" AFF.
3. INSTALL TELECOM RECEIPTS BELOW BACKSPOON
4. TELECOM EQUIPMENT GROUNDING TO TMR SHALL BE PROVIDED BY THE IT CONTRACTOR
5. OWNER TO INSTALL CARD ACCESS SYSTEM
6. PROVIDE 1" VC FROM IT RACK TO THE BUILDING CORNERS (ROOF EAVE), FOR CAMERA SYSTEM INSTALLATION (FURNISHED BY OWNER).
7. REFER TO ELECTRICAL SITE PLAN SHEET E-01 AND CIVIL DRAWINGS FOR GENERATOR AND UTILITY TRAILER LOCATION FOR FIRE ALARM CONTROL PANEL. PLACEMENT OF GENERATOR WITH ARCHITECTURAL AND CIVIL PLANS. GENERATOR TO BE PROVIDED WITH FACTORY-INSTALLED WEATHERPROOF SOLAR CHARGE CONTROLLER MEETING UL OR CEI APPROVED NEMA IP RATING.
8. FURNISH AND INSTALL CIRCUIT FOR GENERATOR JACKET HEATER AND BATTERY CHARGER. UTILIZE 2010-1910H IN #1"
9. NOT USED.
10. INSTALL GENERATORS EMERGENCY POWER OFF (EPO) BUTTON, ENSURING IT IS PROTECTED AGAINST UNDESIRABLE ACTIVATION. PROVIDE PHENOLIC TAG "EMERGENCY STOP" TO EACH GENERATOR.
11. INSTALL A LINE IMPEDY CONDUIT FROM THE IT ROOM TO THE ATTS, THEN EXTENDING TO THE GENERATOR, TO FACILITATE INSTALLATION OF CONTROL AND/OR COMMUNICATION CABLES.
12. PROVIDE TWO (2) 12V 7AH SEALED LEAD-ACID BATTERIES CONNECTED IN SERIES TO SUPPLY BACKUP POWER FOR THE FIRE ALARM CONTROL PANEL. BATTERIES SHALL BE LISTED FOR USE WITH THE CABLE AND SIZED PER NFPA 800. MINIMUM 2 HOURS RUN TIME REQUIRED. BATTERY IN ANTI-FIRE CABINET OR LISTED BATTERY ENCLOSURE. COORDINATE FINAL CONNECTION AND TESTING WITH FIRE ALARM VENDOR.
13. PROVIDE PHENOLIC TAG READING "MAIN BUILDING DISCONNECT" PER NEC 110.22.
14. HARWIVED LAVATOIRES, COORDINATE WITH PLUMBING.
15. CONTRACTOR SHALL PROVIDE AND INSTALL A FLAT ELEVAIOR TRAVELING CABLE DESIGNED FOR MACHINE-ROOMLESS (MRL) ELEVATORS. THE CABLE SHALL INCLUDE STRANDED COPPER CONDUCTORS FOR POWER, CONTROL, AND COMMUNICATION, AND BE RATED FOR CONTINUOUS FLEXING IN ELEVATOR APPLICATIONS.
16. PROVIDE A DISCONNECT WITH A SEPARATELY SOLELY GROUNDED EQUIPMENT GROUNDING CONDUCTOR. THE DISCONNECT SHALL BE INSTALLED IN ACCORDANCE WITH NEC 620.85. FEEDER AND GROUNDING CONDUCTORS MUST BE COPPER, COMPLYING WITH NEC 250.122 AND NEC 310.10. THE CIRCUIT BREAKER SHALL BE LOCATED IN THE MAIN POSITION AS REQUIRED BY NEC 620.81(A) FOR ELEVATOR CIRCUITS. THE CIRCUIT BREAKER MUST HAVE CURRENT-LIMITING CHARACTERISTICS AND BE TIME-DelayED TO ACCOMMODATE FULL LOAD AND ACCELERATING CURRENT. PER NEC 62.02, THE DISCONNECT MUST BE INSTALLED IN THE MAIN POSITION, IN THE TRIP MECHANISM AS SPECIFIED IN NEC 620.91(C). RMI 60A Fuse INSTALLED.
17. 1/4"x2"x2" COPPER GROUNDING BUSBAR. BOND ALL EQUIPMENT GROUNDS TO THE GROUND BAR IN THE ELECTRICAL ROOM PER NEC 250.64 AND NEC 250.122. ENSURE ALL GROUNDING CONDUCTORS ARE PROPERLY TERMINATED USING APPROVED CONNECTIONS AND VERIFY A CONTINUOUS LOW IMPEDENCE PATH TO GROUND. ADDITIONAL BUSBAR MAY BE ADDED IF NEEDED.
18. PROVIDE TYPE A POWR IQR 60K, 550V ULS 342 INVERTER FOR 80 AMP, 208V, 3PH SERVICE. PROVIDE 1" VC FROM THE ELECTRICAL ROOM WITH TEST SWITCH AND INDICATOR. COORDINATE WITH CONTRACTORS, COMPLETELY.

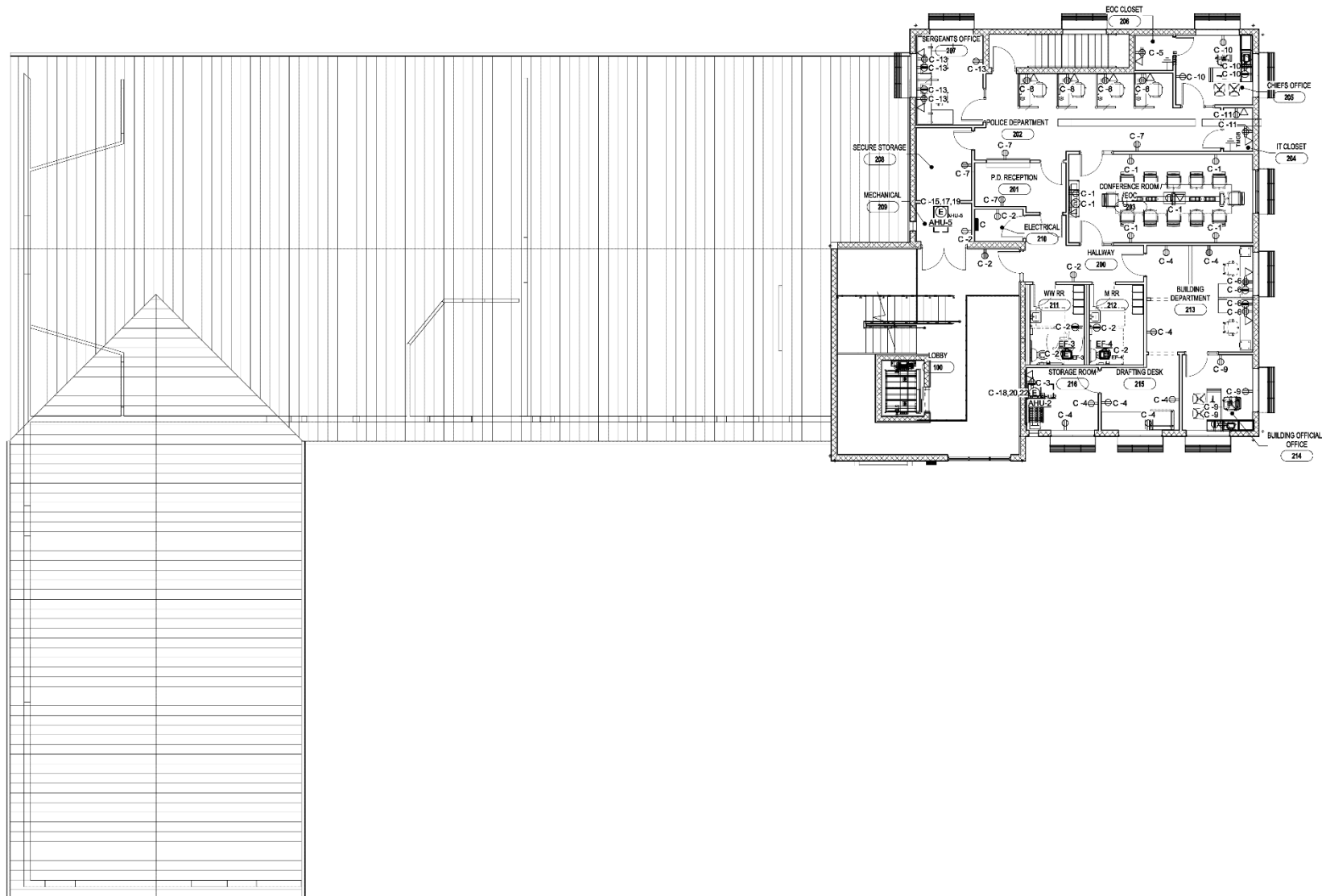


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ELECTRICAL-SECOND FLOOR POWER PLAN

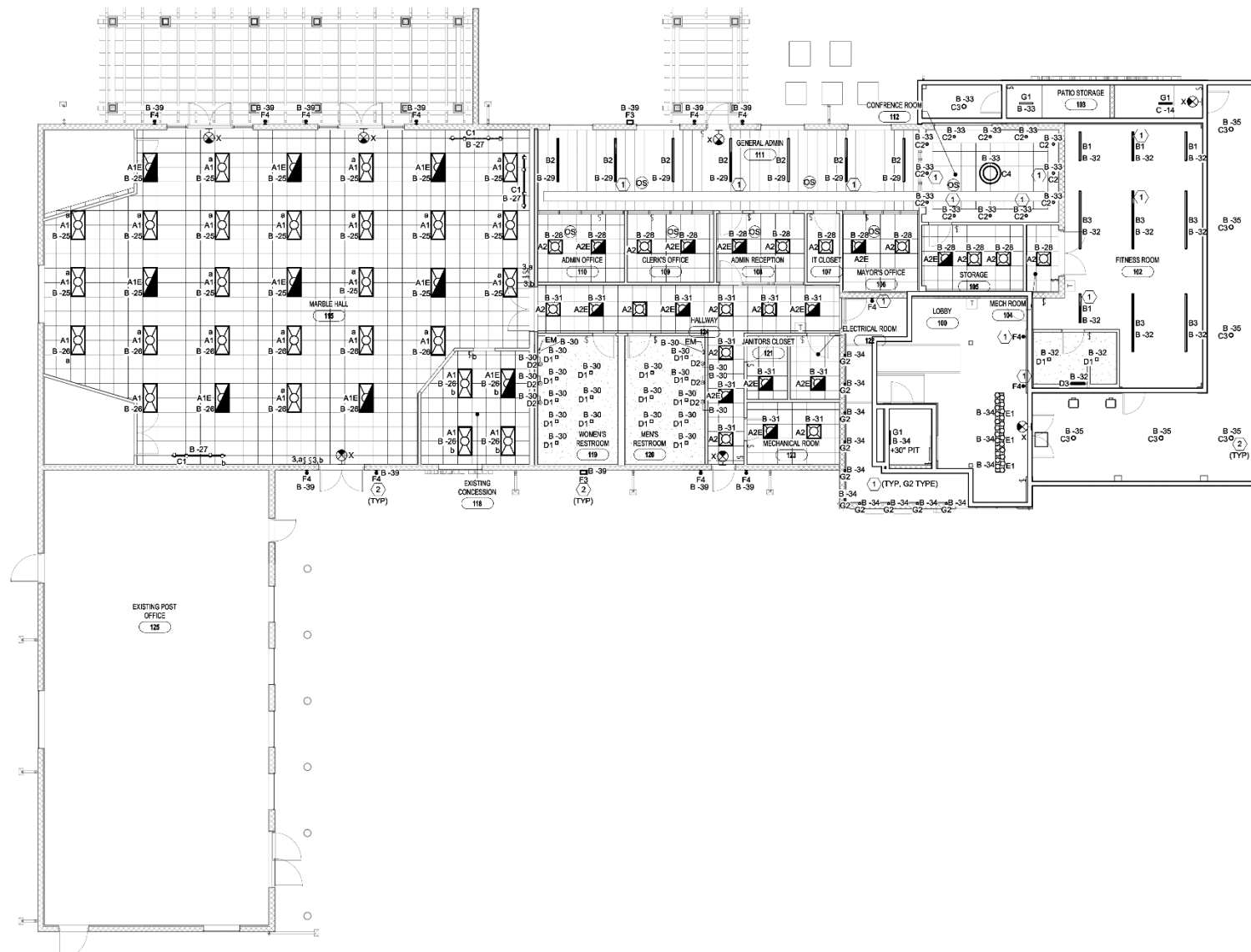




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ELECTRICAL-GROUND FLOOR LIGHTING PLAN

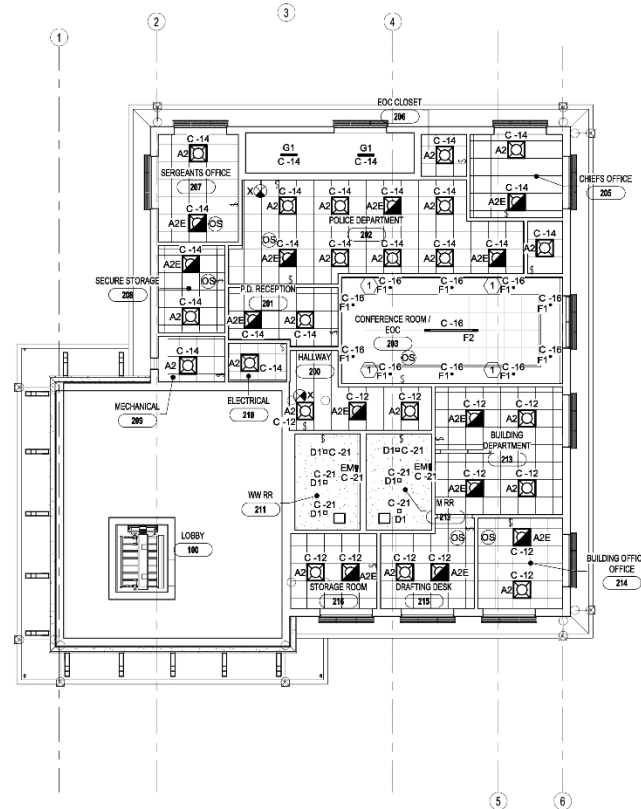




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ELECTRICAL-SECOND FLOOR LIGHTING PLAN





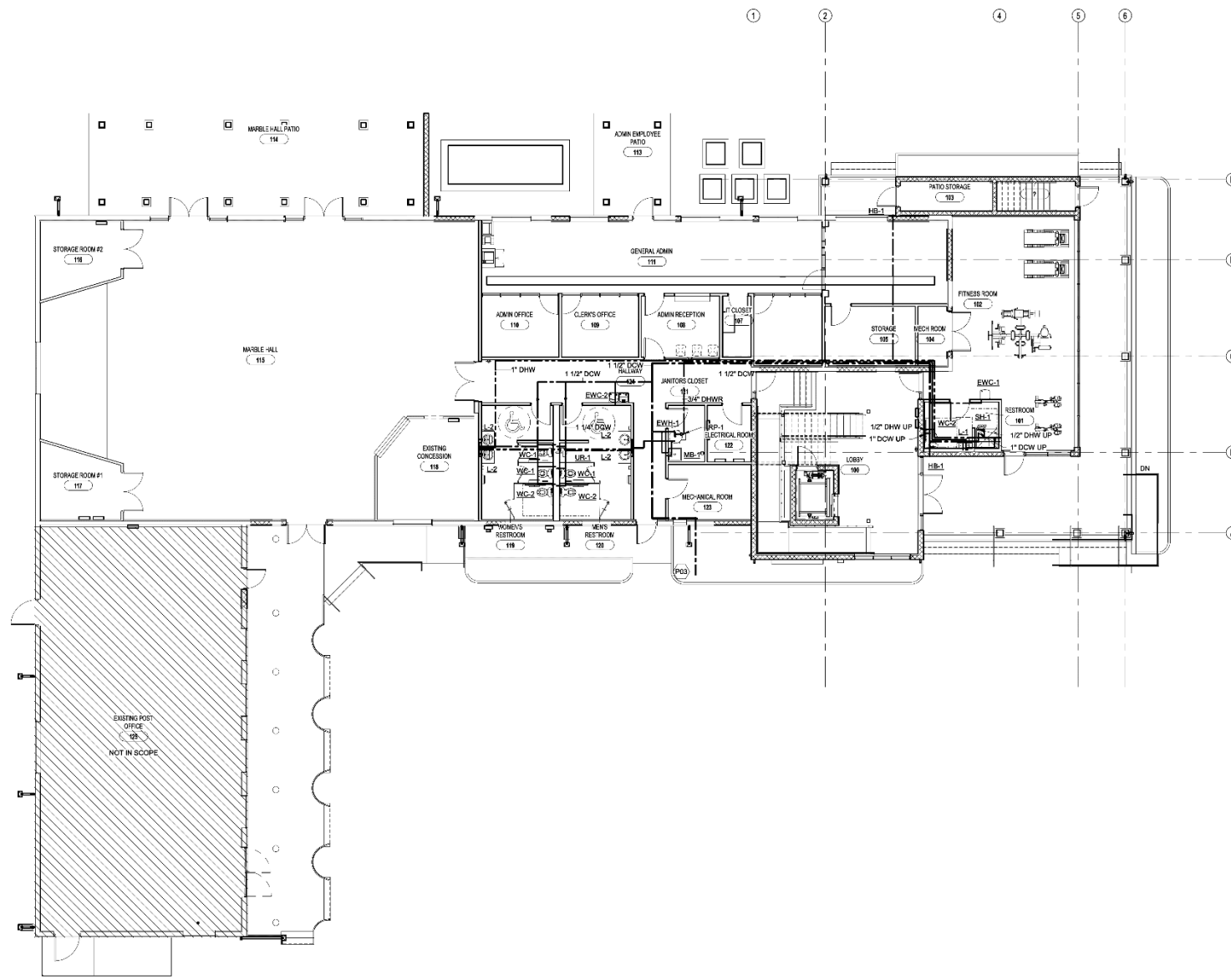
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DOMESTIC WATER FIRST FLOOR PLAN



KEYNOTE LEGEND

P03 PROVIDE 2" DOMESTIC COLD WATER LINE. COORDINATE WITH CIVIL PLANS FOR PIPING CONTINUATION, METER AND BACKFLOW PREVENTER LOCATION ON SITE.

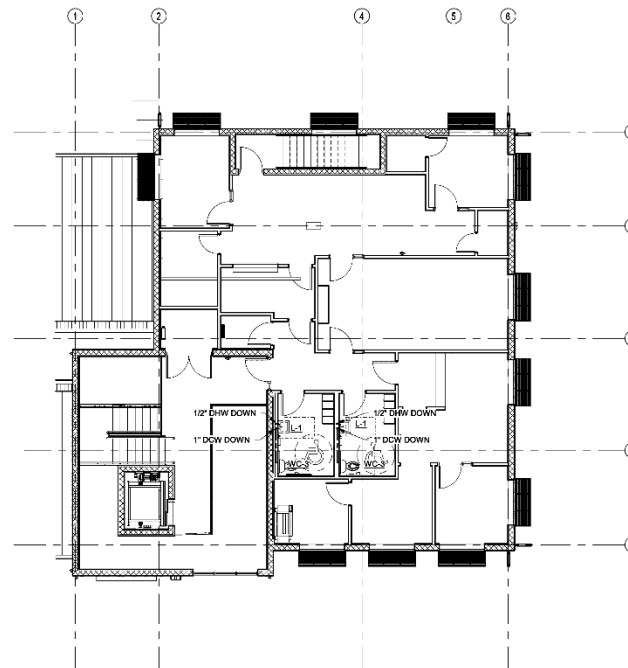


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DOMESTIC WATER SECOND FLOOR PLAN



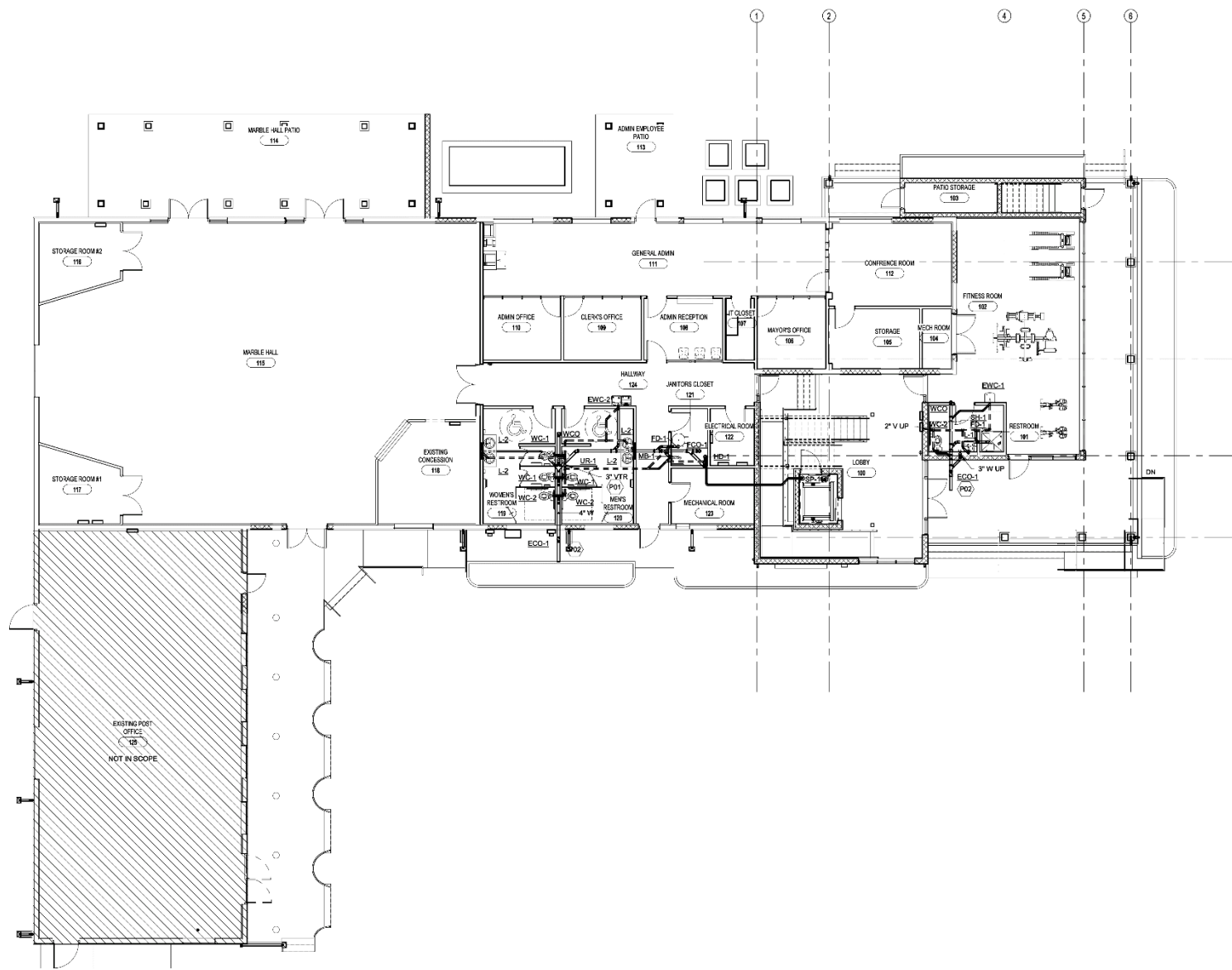


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PLUMBING-WASTE AND VENT FIRST FLOOR PLAN



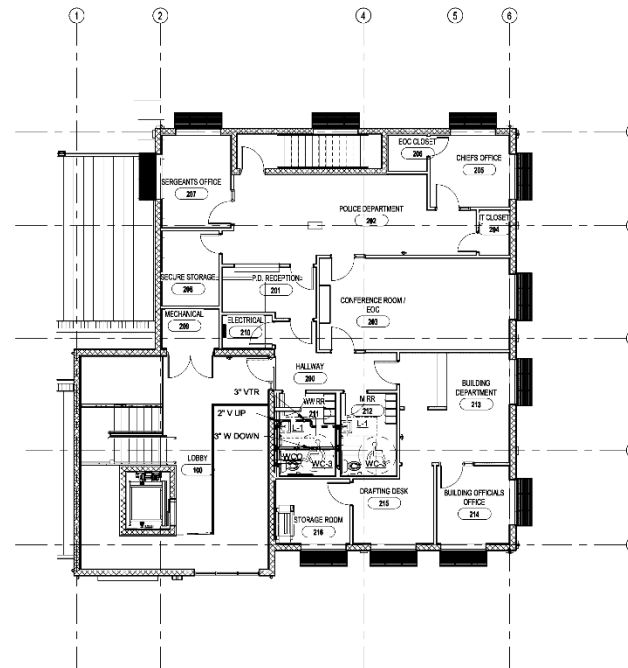


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PLUMBING-WASTE AND VENT SECOND FLOOR PLAN



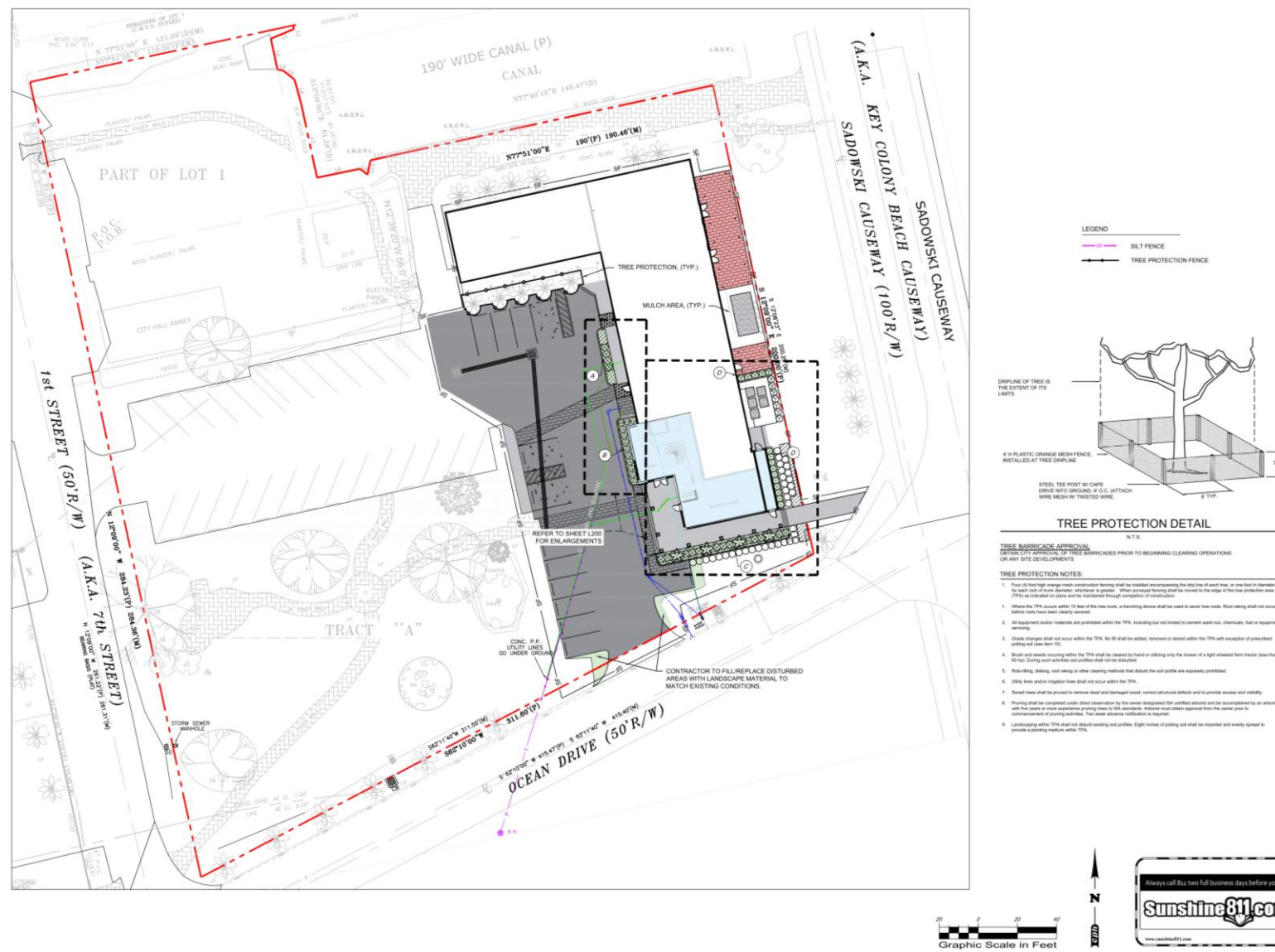


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LANDSCAPE-OVERALL LANDSCAPE PLAN





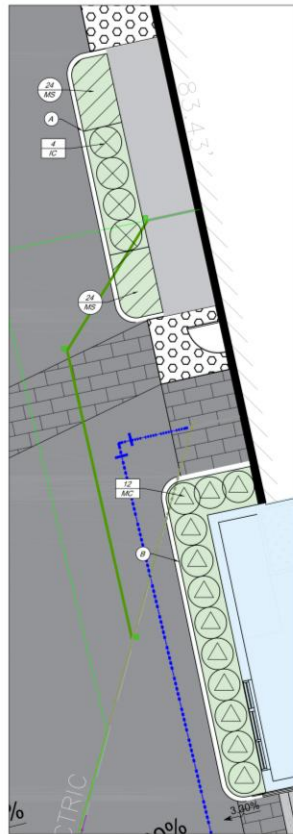
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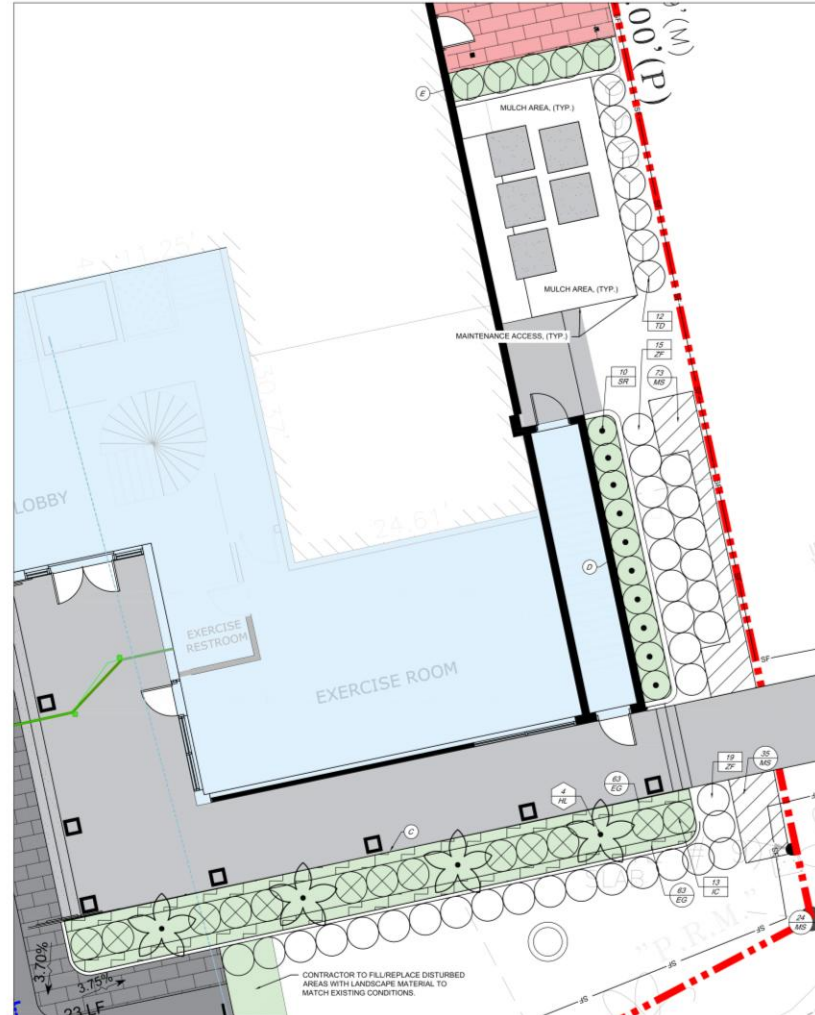


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LANDSCAPE-OVERALL LANDSCAPE PLAN



ENLARGEMENTS A & B
SCALE: 1"=1'-0"



ENLARGEMENTS: C, D & E
SCALE: 1"=1'-0"

PLANT LIST	
SYM	COMMON NAME
PALM	
HL	BOTTLE PALM
EXISTING TREES	
SHRUBS/GRASSES	
ZF	COONTIE
SR	ORANGE BIRD OF PARADISE
IC	IKORA
MC	MURRAY GRASS
TD	PAKAHATCHEE GRASS
GROUNDCOVER/GRASSES	
EG	BLUE DAZE
MS	POWDERPUFF





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PROJECT STATUS:

- CONSTRUCTION DOCUMENTS 90% COMPLETED
- CITY'S APPROVAL FOR ADDITIONAL SCOPE PER COMMENTS RECIEVED
- CPH SEEKING APPROVAL TO SUBMIT FOR CODE REVIEW
- CPH SEEKING APPROVAL TO ADVANCE TO 100% CONSTRUCTION DOCUMENTS
- CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING ENGINEERING AND LANDSCAPE ARCHITECTURE DEVELOPED.
- CURRENT OPINION OF PROBABLE CONSTRUCTION COST
- PROJECT IS ON SCHEDULE !!!



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Thank You!

QUESTIONS AND COMMENTS

